

CERTIFICATE OF APPROPRIATENESS

Application Date: June 10, 2024

Applicant: Natalie Armstrong, agent; Brandon Scott, owner

Property: 915 Columbia St.- Lot 10 Block 227, Houston Heights; 6,600 SF Lot, 1,232 SF 1-story bungalow contributing and non-contributing 2-story garage duplex.

Significance: Main house is contributing in HHS HD

Proposal: 2-story rear addition that begins at the rear of the existing, original 1-story house.

- Non-contributing garage to be demolished.
- Proposed addition has 1,671 SF.
- No alterations to existing exterior of original house

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Denial does not meet Heights Design Guidelines, Measurable Standards.

HAHC Action:

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;

(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and

(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES

In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

S D NA S - satisfies D - does not satisfy NA - not applicable

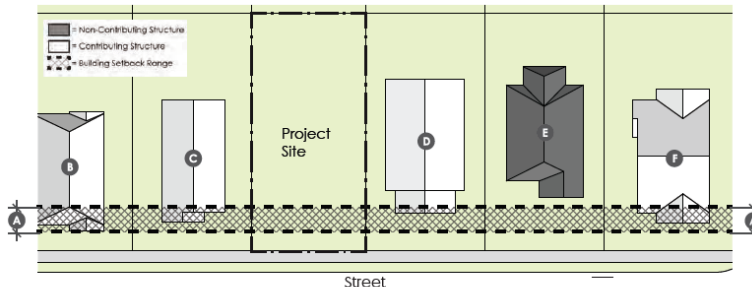
HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600
Proposed Lot Coverage:
Proposed Percentage:

Front Setbacks (New Construction)



KEY	MEASUREMENT	APPLICATION
A	RANGE	Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area.

Proposed front setback: No Change. Meets.

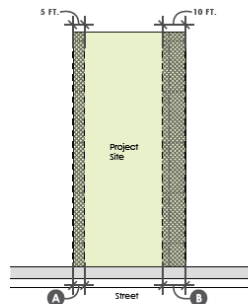
Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 15' Meets.

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
C	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (1): 8' 7 1/4"
 Proposed side setback (2): 4' 4 3/4" existing and 6' 4 3/4" for addition
 Cumulative side setback: Minimum required – 15' or 180"

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600
 Proposed FAR: Allowed 2,904 Proposed 2903 Meets

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Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: Existing 42' Proposed lengths 18' on North and 30' on South
Inset Length: 2" inset and 6' length on South.

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Eave Height (Addition and New Construction)

**PRIMARY BUILDING 1-STORY
EAVE HEIGHT RANGE**

KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback

**PRIMARY BUILDING 2-STORY
EAVE HEIGHT RANGE**

KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 20' Proposed. Meets.

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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: No change proposed from existing
Proposed first floor plate height: No change.
Proposed second floor plate height: 9.'

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Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: No Change

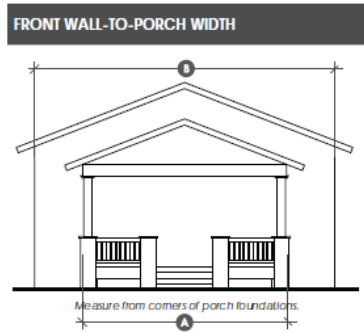
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Front Wall Width and Insets (New Construction)

MEASUREMENT	APPLICATION
30 FT.	Maximum front wall width before inset
4 FT.	Minimum width of inset section of front wall
40 FT.	Maximum width of 1-story building for lots </= 50 ft wide
35 FT.	Maximum width of 2-story building for lots </= 50 ft wide
50 FT.	Maximum width of building for lots > 50 ft wide

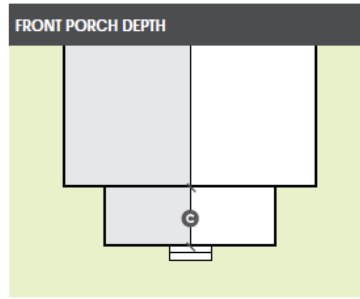
Proposed front wall width: No Change

Front Porch Width and Depth (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	Porch Width	
B	House Width at Front Wall	

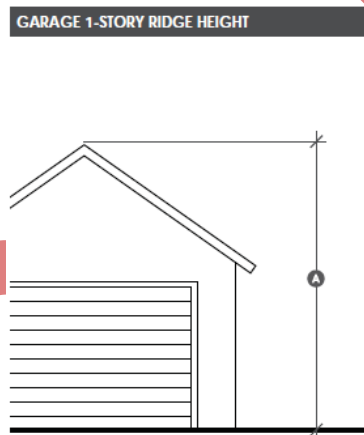
KEY	MEASUREMENT	APPLICATION
A	50%	Minimum percentage of front wall width that is covered by porch



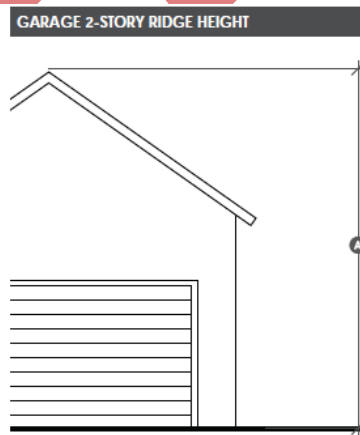
KEY	MEASUREMENT	APPLICATION
C	6 FT.	Minimum depth of front porch

Proposed front porch width: No Change

Detached Garage Ridge Height (New Construction)



KEY	MEASUREMENT	APPLICATION
A	16 FT.	Maximum 1-story garage ridge height



KEY	MEASUREMENT	APPLICATION
A	26 FT.	Maximum 2-story garage ridge height (for garage apartment)

Proposed ridge height: N/A



PROPERTY LOCATION
HOUSTON HEIGHTS SOUTH HISTORIC DISTRICT



INVENTORY PHOTO

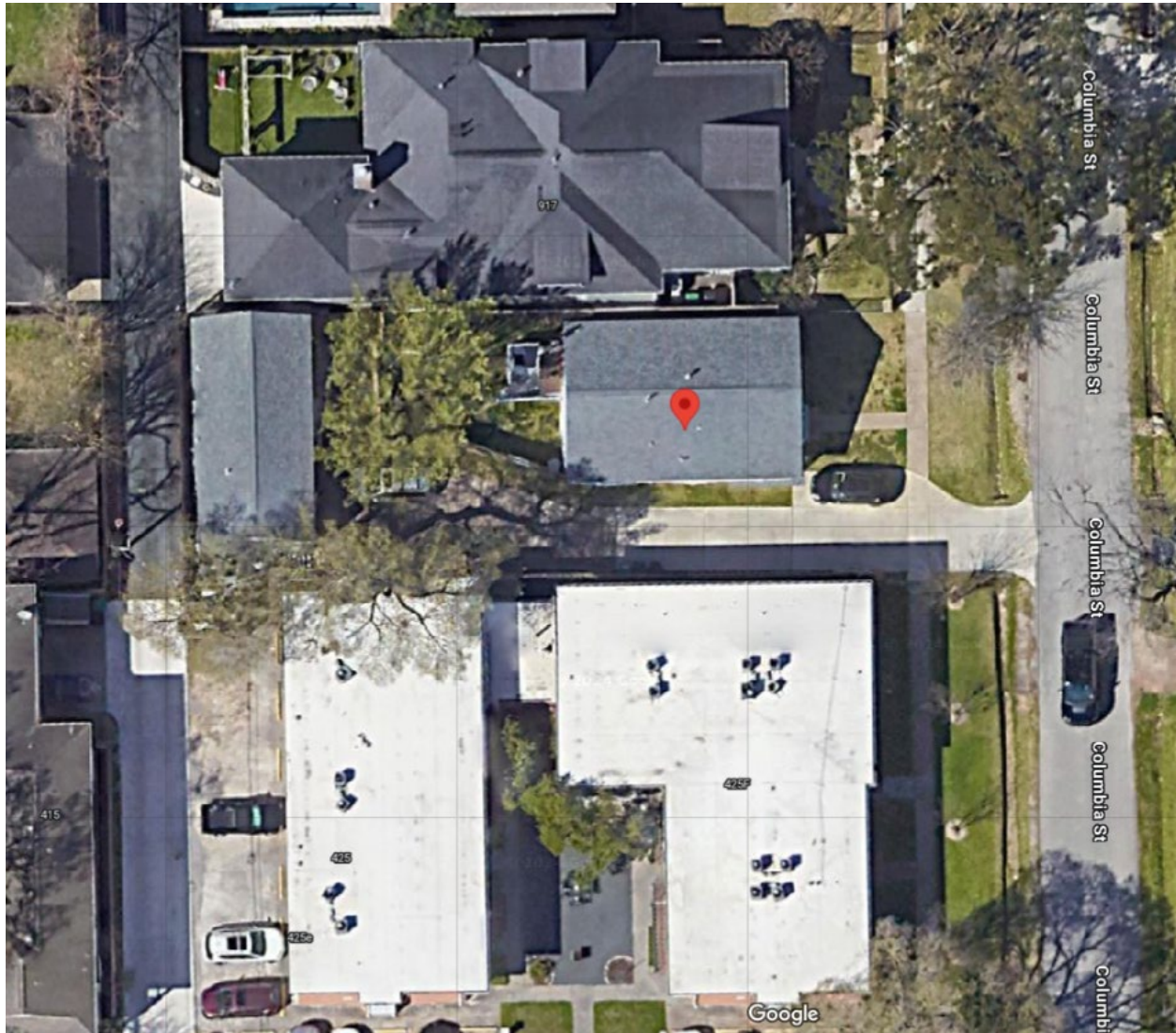


CURRENT PHOTO

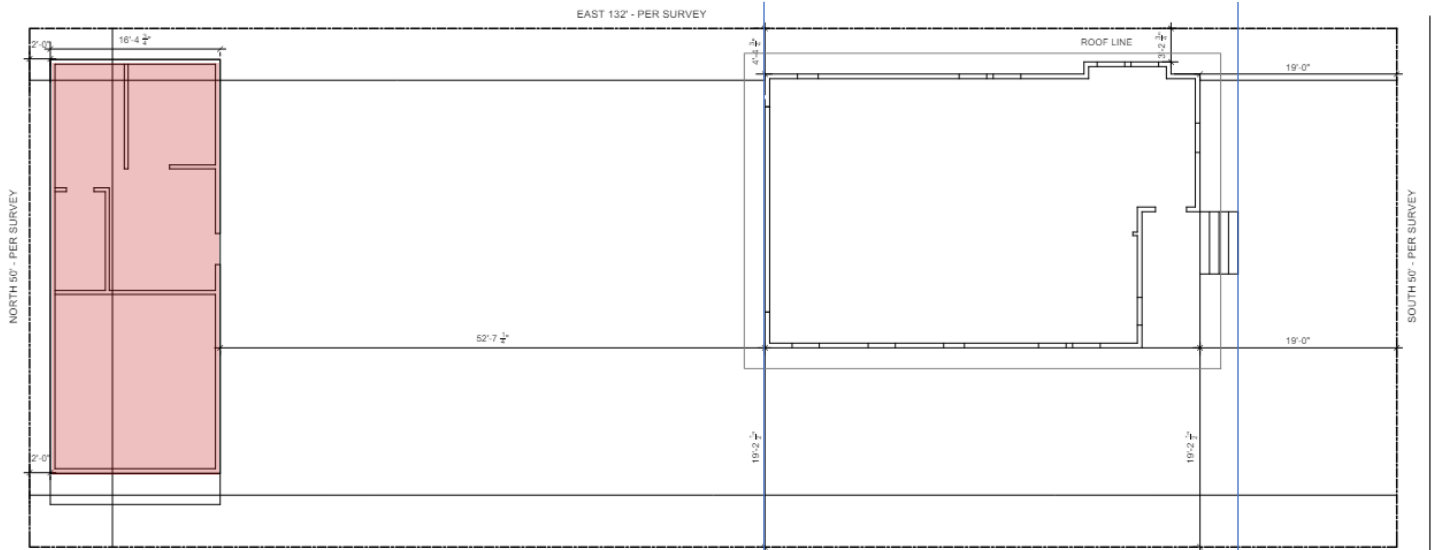


Figure 1 - Note Context Area - Apartments on left and large SF on right.

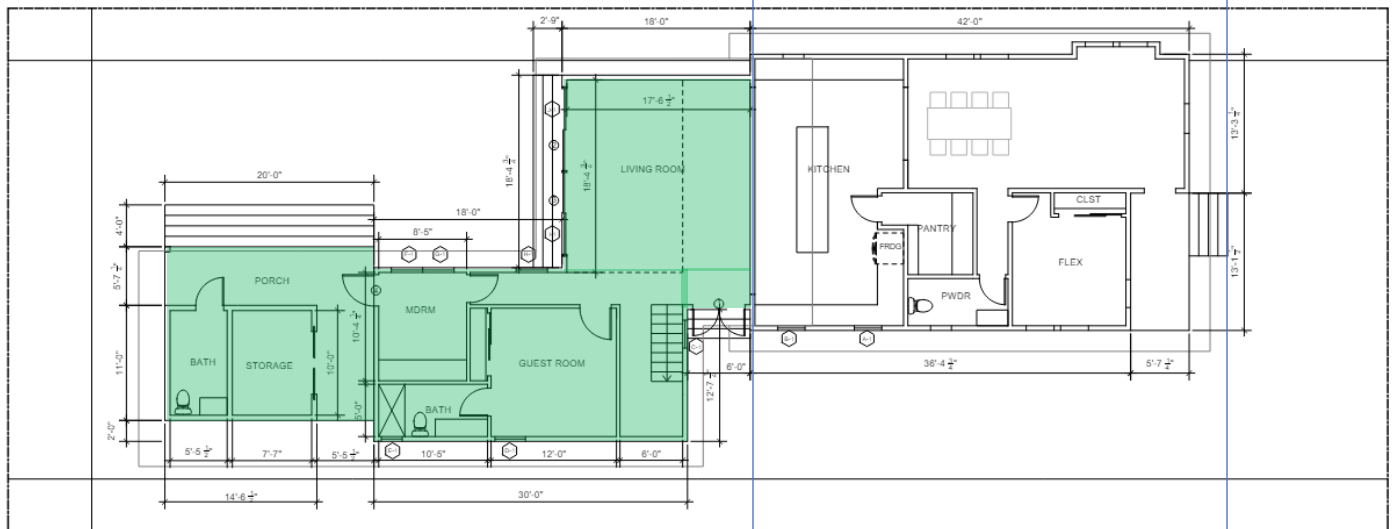
AERIAL VIEW OF PROPERTY



Plans

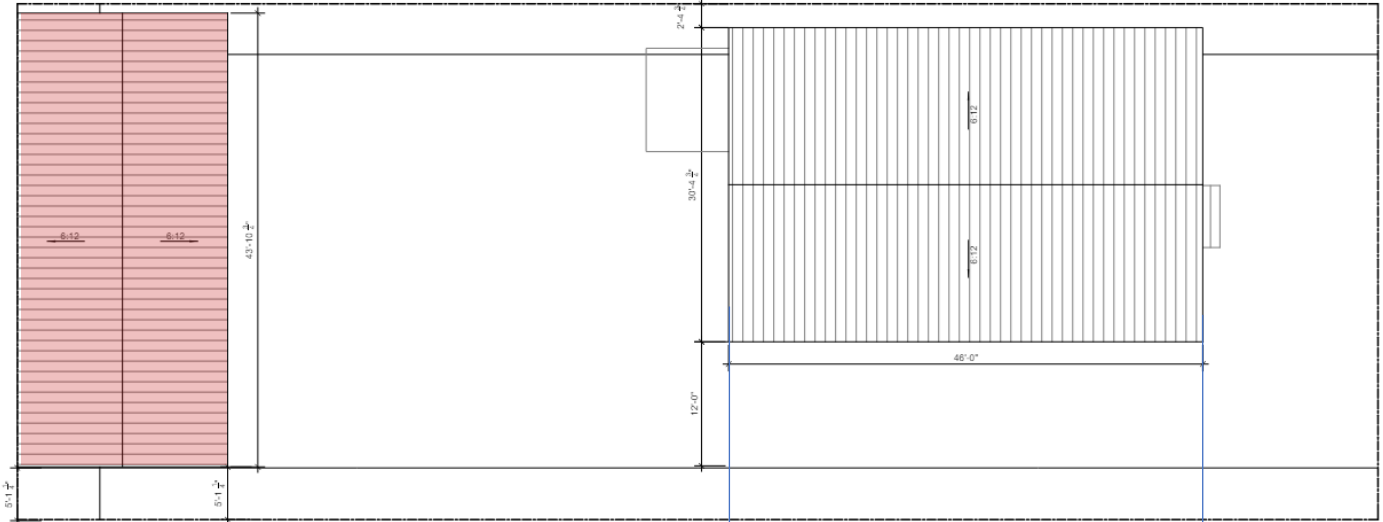


01 EXISTING SITE PLAN

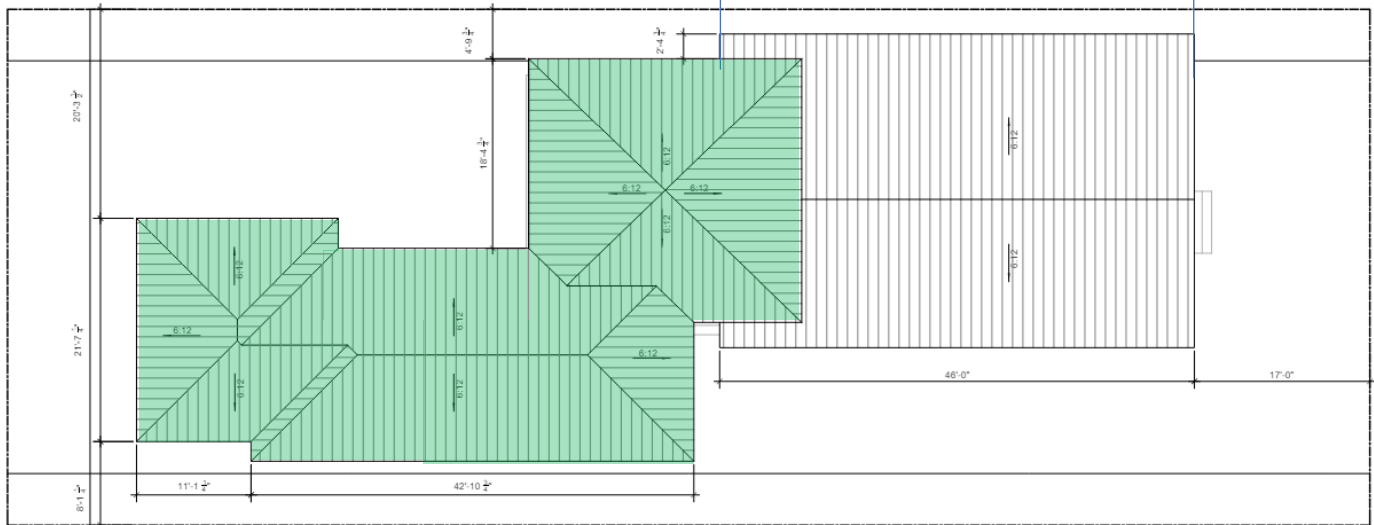


01 PROPOSED FIRST FLOOR PLAN OPTION 3



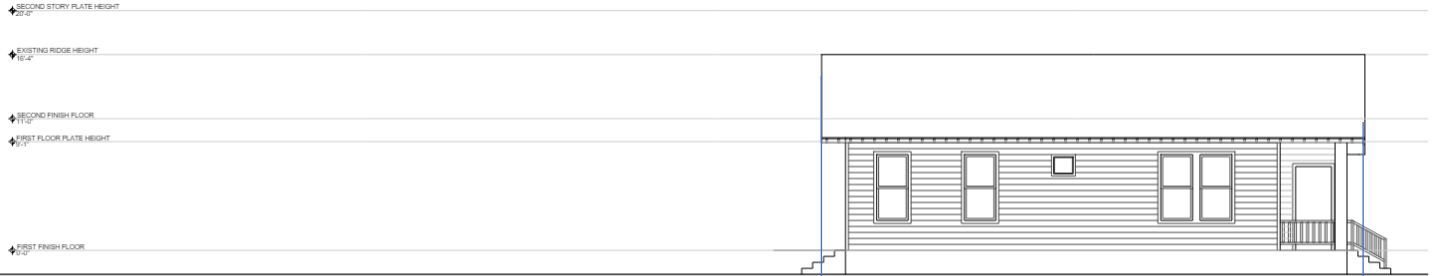


01 EXISTING ROOF PLAN

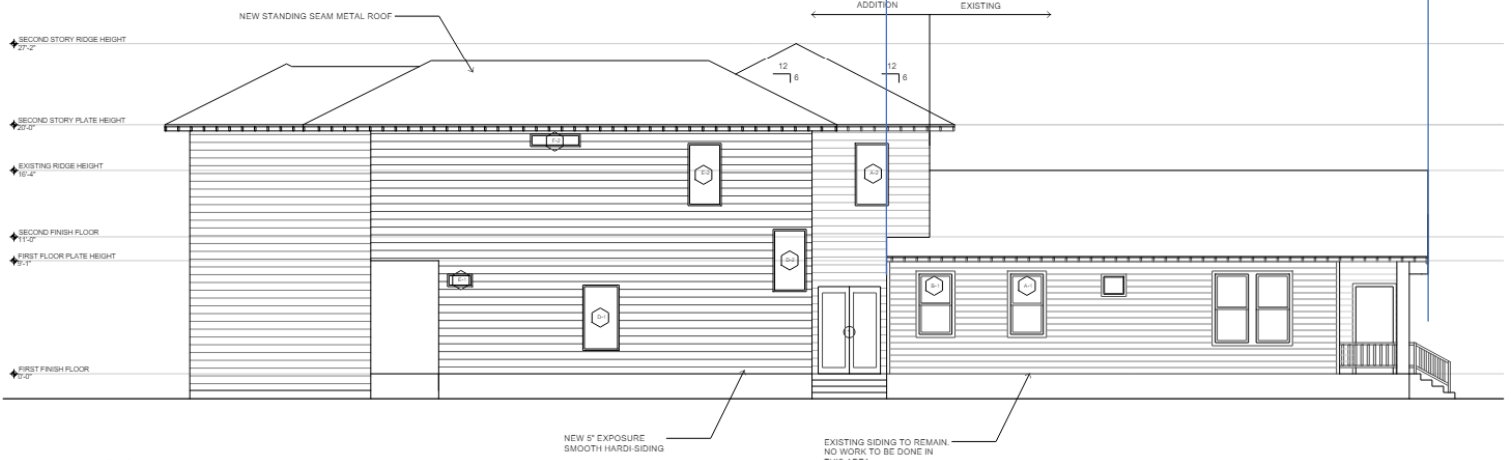


02 PROPOSED ROOF PLAN OPTION 3





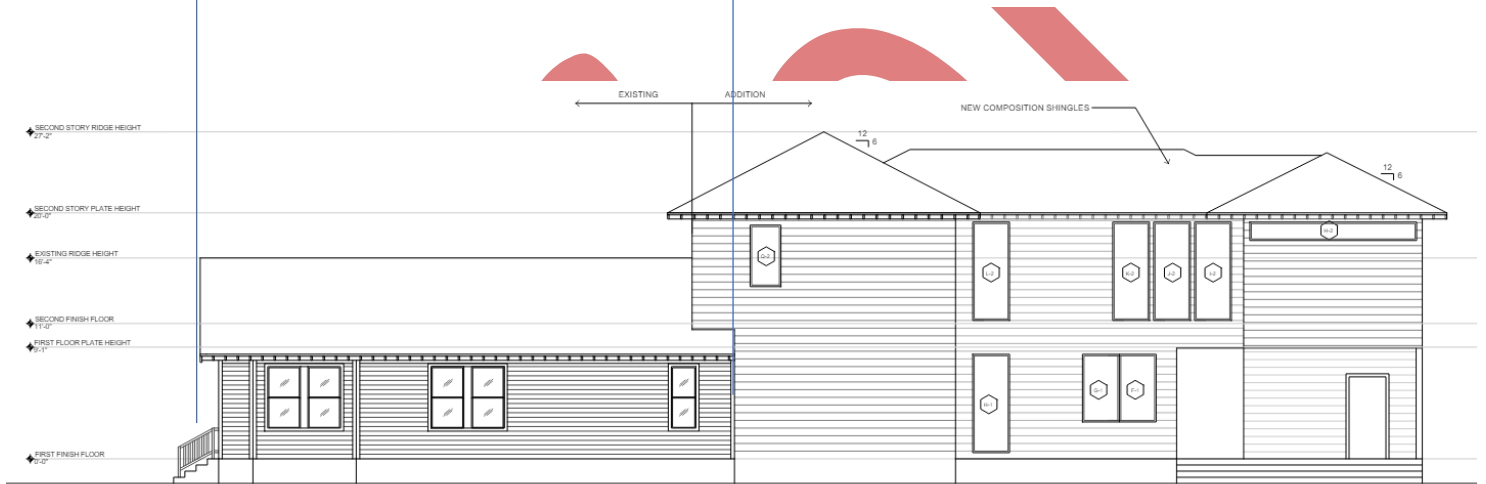
02 EXISTING SOUTH ELEVATION



01 PROPOSED SOUTH ELEVATION OPTION 3



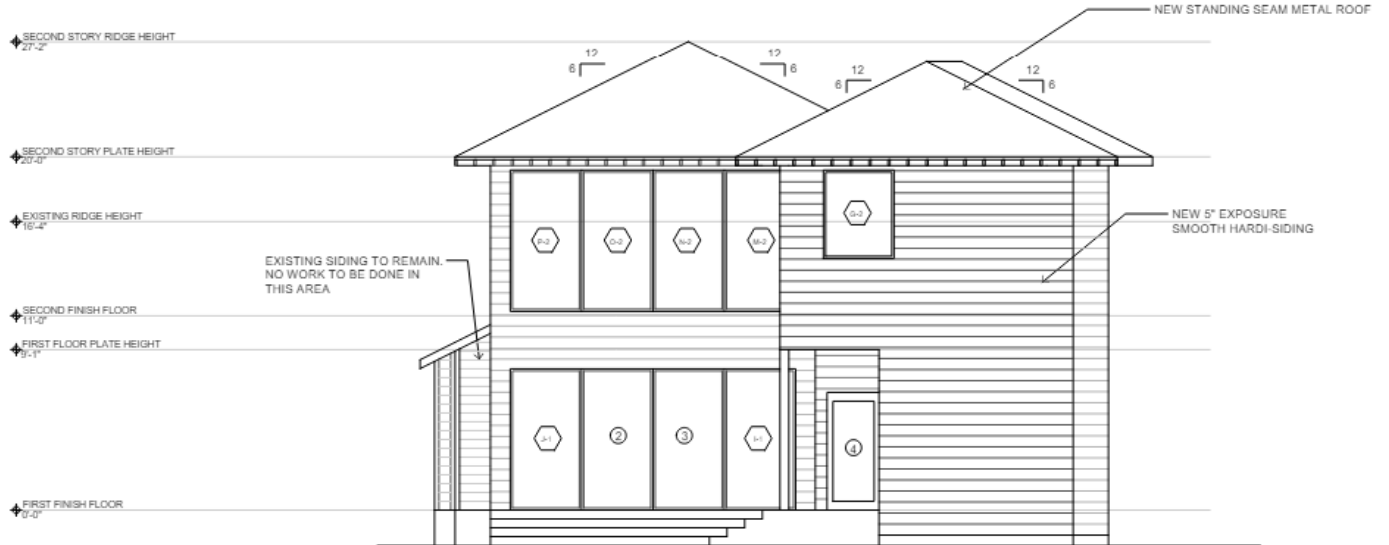
02 EXISTING NORTH ELEVATION



01 PROPOSED NORTH ELEVATION OPTION 3



02 EXISTING WEST ELEVATION



01 PROPOSED WEST ELEVATION OPTION 3

See Drawings Attached for Details